

use fiaured dir ons only. Ensure that y the latest revision no. Read in conj rawings - refer contract drawing list.

cked on site before commencent rought to the attention of the Arc and written dimensions take precedenc Level is mln 3.1m AHD. All levels to AHD. The E

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 REVISION
 DATE
 DESCRIPTION

 A
 20/12/23
 S4.55 (8)
 MODIFICATION
BY MD,FB

REVISION NOTES ISSUED FOR s4.55(8) LODGMENT

NOT FOR CONSTRUCTION

CLIENT C.G. & I.B. KOUTSOS

2/40 East Esplanade Manly, NSW 2095 Australia Phone: 02 8385 9759 Nominated Architect: Bridie Gough 8580 info@platformarchitects.com.au

VP/

9-11

S4.55(8) MODIFICATION DRAWING LIST

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drawings	the specifications upon or written specifications, hat specification must ap Glass *	these Specifica			ased. If details include	d in these Specifications var	v from other	
Windows Default		noty to all instan			dence. If only one spec	cification option is detailed fo		
Default		Frame	U value	SHGC	Detail			
	Single glazed, clear	Aluminium	6.7	0.57	For window types:	awning, bi-fold, casement -		
Default	Gingle glazed, clear	Administri			Glazing generally	oliding window/ door double	hung fixed	
	Single glazed, clear	Aluminium	6.7	0.70	Glazing generally	sliding window/ door, double	nung, iixeu -	
Default	Single glazed, Low E (low solar gain)	Aluminium	5.6	0.41		d walls for roof top stair encl		
The glas	s type and frame description	ons are indicative	only. The	U-value and	d SHGC performance fg	ures must be met to achieve c	compliance	
Skylights	Glass	Frame	U value	SHGC		Detail		
Default	Single glazed, clear	Aluminium	7.3	0.79	For unit 13 - skylg	ghts over bathrooms		
Default	Double glazed, clear	Aluminium	4.2	0.72	For unit 13 – glaze	ed roof for roof top stair enclo	osure	
External	walls Construction	Added In	aulation	Deta	-			
Brick vene		R 2.0	suldtion/		er drawings			
Hebel + st		R 2.0			er drawings			
Framed		R 2.0			er drawings			
Concrete		R 1.0			er drawings			
Cavity brid	:k	None		Exis	ting walls forming part	of unit 1		
internal w		Added In	sulation	Deta				
	ard on studs	None None			s within units	ualla constation units for	mmen lebbies	
Hebel + S Concrete		None				valls separating units from co n lift shafts and stairwells	Smithon looples	
- oniciele		NOILO		vvan	a separating units IIOI	ring andits and stanwells		
Floors	Construction	Added In	sulation	Deta				
Concrete		None			rs generally			
Concrete		R 1.0		Foru	unit: 1			
Ceilings	Construction	Added In	sulation	Deta	nil			
Plasterboa	ard	See roof	details					
Plasterboa	ard	R 3.5		Foru	unit: 1 (ceiling below e	xisting roof space)		
Roof	Construction	Added In	sulation	Deta	ail			
Concrete		R 1.0			units: 2, 3, 7, 9, 10, 11			
Concrete Tiles		R 2.5 R 1.0			unit: 13 existing roof over unit *	1		
		10 L.V		rore	entering reer ever drift			
	quirements							
All vents,	exhaust fans and downlig	ghts (if installed) to be sea	led to prev	ent air-infiltration			
		0005442730 Assessor Re Accreditation N Address 9-11 Victoria Para	0 22 Mai obert Mallindir o. DMN/12/1	r 2024	ent air-infiltration			
	HATION WIDE HERE A STORE AND A STORE	Manly, NSW, 2095		atar.com.au	DRAWING 1	ITLE		PROJECT
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	IA PARADE, MANLY,	NSW			SCALE	STATUS	NUMBER	REVISION

	Thermal Pe			ifications (BAS arade, Manly	X Thermal Comfort)		
	these Specifica	tions shall	take preced	lence. If only one spe	ed in these Specifications vary t cification option is detailed for a		
	Frame	U value	SHGC	Detail			
glazed, clear	Aluminium	6.7	0.57	For window types	awning, bi-fold, casement -		
glazed, clear	Aluminium	6.7	0.70		sliding window/ door, double h	ung, fixed -	
glazed, Low E	Aluminium	5.6	0.41	Glazing generally For unit 13 – glaz	ed walls for roof top stair enclos	are	
ar gain) d frame descriptio					gures must be met to achieve con		
lass	Frame	U value	SHGC		Detail		
	Aluminium	7.3	0.79	For unit 12 - chui	ghts over bathrooms		
glazed, clear	Auminium	4.2	0.79		ed roof for roof top stair enclose	1170	
glazed, clear	Auminium	4.2	0.72	For unit 15 - giaz	ed tool for tool top stall enclose		
onstruction	Added In	sulation	Deta	il			
	R 2.0		As p	er drawings			
	R 2.0		As pr	er drawings			
	R 2.0			er drawings			
	R 1.0			er drawings			
	None		Exist	ing walls forming par	or unit 1		
onstruction	Added In	sulation	Deta	ii -			
uds	None		Walls	within units			
	None		Walls	s between units, and	walls separating units from com	nmon lobbies	
	None		Walls	s separating units from	m lift shafts and stairwells		
onstruction	Added In	sulation	Detai	1		Ĩ	
	None			s generally			
	R 1.0		For u	nit: 1			
onstruction	Added In	sulation	Deta	II			
	See roof	details					
	R 3.5		Foru	nit: 1 (ceiling below e	xisting roof space)		
onstruction	Added In	sulation	Deta	11			
-	R 1.0		Foru	nits: 2, 3, 7, 9, 10, 11			
	R 2.5			nit: 13			
	R 1.0		For e	xisting roof over unit	1		
	ghts (if installed	to be sea	led to preve	ent air-infiltration			
	000544273(Assessor Ri Accreditation N Addres 9-11 Victoria Para Manly, NSW, 2095	22 Mar obert Mallindin o. DMN/12/14	2024 e	ent air-infiltration	ппе		PROJECT
fans and downlig 6.2 Average	0005442730 Assessor Re Accreditation N Adress 9-11 Victoria Para Maniy, NSW,	22 Mar obert Mallindin o. DMN/12/14	2024 • • • • • • • • • •	DRAWING	TITLE ER PAGE		PROJECT VPM
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- Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above.
- The front facade's angle has been adjusted to enlarge 2. the front balconies and comply with ADG regulations of balcony size.
- Front balconies on level 1 and level 2 were extended to the north east to align with the approved balconies above 3. to avoid looking 'top-heavy' and unbalanced.
- Level 4 brick wall shifted to align with adjacent brick
- Cladding colour proposed to be off-white to visually 5. lighten the bulk of the upper floors.
- Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the 6. intention of condition 43D.
- Private roof terrace introduced to improve amenity of unit 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or overshadowing.
- Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no 8. privacy impacts.
- Minor adjustment to the GFA due to the above– still less than LEC approved FSR 3:1. 9.
- 10. Window heads have been lowered to 2.58m to fit services

FINISHES

- (MAS1) MASONRY VERTICAL STACK BOND FACE BRICK WORK (MAS2) MASONRY - STRECHER BOND FACE BRICK WORK (REN1) RENDER - LIGHT CL1 CLADDING 5
- GB GLASS BALUSTRADE

LEGEND

SD SLIDING PANEL LVR GLAZED LOUVRE WINDOW SW SWING DOOR FX FIXED GLAZING PS PRIVACY SCREEN OB OBSCURE GLAZING AW AWNING WINDOW DH DOUBLE HUNG WINDOW AS FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34 CONFERENCE

DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

\succ	DRAWING TITL	E		PROJEC
	FIRST FI	LOOR PLAN		VPM
	SCALE	STATUS	NUMBER	REVISION
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- (MAS1) MASONRY VERTICAL STACK BOND FACE BRICK WORK
- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT



- GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- **OB** OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE



DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

S4.55(8) MODIFICATIONS



UPTURN TO 820mm AFFL AND METAL RAIL ON TOP OF UPTURN TO 1m AFFL

С



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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

CL1 CLADDING 5

GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE



DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS





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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

CL1 CLADDING 5

GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE



DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

	DRAWING TITLE	DOR PLAN		project
>	SCALE	status \$4,55 (8)	NUMBER	REVISION
	1:100	s4.55 (8)	A1.08	А



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FINISHES *REFER TO EXTERNAL FINISHES

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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

CL1 CLADDING 5 CL2 CLADDING

GB GLASS BALUSTRADE

LEGEND

SD	SLIDING	PANEL

- LVR GLAZED LOUVRE WINDOW
- SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE



DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

	DRAWING TITLE ROOF PLAN TERRACE					
]	SCALE	STATUS	NUMBER	REVISION		
7	1:100	s4.55 (8)	A1.09	А		



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No.	DMN/12/1475
rade	
	www.hstar.com.au

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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

CL1)	CLADDING	$\left(\right)$
CL2	CLADDING	3

GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- **OB** OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

S4.55(8) MODIFICATIONS

PROJECT VPM

REVISION

1:100 s4.55 (8)

NUMBER A2.01

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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

4

6

- CL1 CLADDING 5
- CL2 CLADDING
- GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- **OB** OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552

APPROVED DRAWINGS S4.55(8) MODIFICATIONS

PROJECT VPM

SOUTHWEST ELEVATION

STATUS 1:100 s4.55 (8)

NUMBER A2.02

REVISION А



u

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FINISHES *REFER TO EXTERNAL FINISHES

(MAS1) MASONRY - VERTICAL STACK BON	ND FACE BRICK WORK
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- (MAS2) MASONRY STRECHER BOND FACE BRICK WORK
- (REN1) RENDER LIGHT

m	\frown
CL1 CLADDING	5
	\sim

GB GLASS BALUSTRADE

LEGEND

SD	SLIDING	PANEL

- LVR GLAZED LOUVRE WINDOW
- SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552

APPROVED DRAWINGS

S4.55(8) MODIFICATIONS

DRAWING TITLE

project

SCALE STATUS

1:100 s4.55 (8)

NUMBER A2.03 REVISION



2 Mar 2024 Malindine	E	ROPOSED	S4.55(8) MODIFICATIONS LIST:			
MN/12/1475	1.	enhance	on Ground floor has been pushed o the usable area and to suit new co s above.			
2095-22	2.		t facade's angle has been adjusted			
ARY		the front balcony	balconies and comply with ADG reg size.	julations of		
BOUNDARY	3.	the north	Iconies on level 1 and level 2 were on a contract to align with the approved bal looking 'top-heavy' and unbalanced.	conies above		
i	4.	Level 4 walls.	prick wall shifted to align with adjace	ent brick		
	5.		g colour proposed to be off-white to the bulk of the upper floors.	visually		
— — [6.	cages in	n of 1 bicycle space per unit in large lieu of separate bicycle parking to s of condition 43D.			
Ì	7.	14. The	oof terrace introduced to improve ai glass stair enclosure is not readily v t and has no real impact on privacy dowing.	isible from		
	8.		in width of high-light windows to im n and natural lighting in the bedroo mpacts.			
i	9.		ljustment to the GFA due to the abo n LEC approved FSR 3:1.	ve– still		
	10.	Window services	heads have been lowered to 2.58m	to fit		
i i	F		FER TO EXTERNAL FINISHES			
	_		IRY - VERTICAL STACK BOND FACE BRICK	WORK		
i	_		IRY - STRECHER BOND FACE BRICK WORK			
1	_					
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	m	R - LIGHT			
	<pre>{Control control control</pre>	L1) CLADD				
		L2 CLADD	ING )			
	Č	B GLASS	BALUSTRADE			
1	L	EGEND				
1	S	D SLIDING F	ANEL			
1	Ľ	VR GLAZED L	OUVRE WINDOW			
1	S	W SWING DO	DOR			
	F	K FIXED GL	AZING			
i i	P	S PRIVACY	SCREEN			
1	o	OB OBSCURE GLAZING				
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8			APPROVED DA OUTLINE IN SC	34		
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I A			DENOTES EXTENT OF BUILDI			
ļ.			AS PER MOD2022/0660 PAN-2 APPROVED DRAWINGS	07002		
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	DRAWING TITLE			PROJECT		
	NORTHEA	ST ELEVATIO	DN	VPM		
	SCALE	STATUS	NUMBER	REVISION		
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platform

IMPORTANT NOTES: Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work. - All discrepancies to be brought to the attention of the Architect. - Larger scale drawings and written dimensions take precedence. - The Estuarine Planning Level is mln 3.1m AHD. All levels to AHD.

This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of Platform Architects Pty Ltd.

DATE DESCRIPTION 20/12/23 S4.55 (8) MODIFICATION

REVISION DATE |

REVISION NOTES ISSUED FOR s4.55(8) LODGMENT

BY

MD,FB

CLIENT

NOT FOR CONSTRUCTION

C.G. & I.B. KOUTSOS

2/40 East Esplanade Manly, NSW 2095 Australia Phone: 02 8385 9759 Nominated Architect: Bridie Gough 8580 VPM

9-11 VICTORIA PARADE, MANLY, NSW

# PROPOSED S4.55(8) MODIFICATIONS LIST:



- Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above
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- Front balconies on level 1 and level 2 were extended to 3 the north east to align with the approved balconies above to avoid looking 'top-heavy' and unbalanced.
- Level 4 brick wall shifted to align with adjacent brick 4.
- Cladding colour proposed to be off-white to visually 5. lighten the bulk of the upper floors.
- Allocation of 1 bicycle space per unit in large storage 6 cages in lieu of separate bicycle parking to satisfy the intention of condition 43D.
- Private roof terrace introduced to improve amenity of unit 7. 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or overshadowing.
- Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no 8. privacy impacts.
- Minor adjustment to the GFA due to the above- still 9. less than LEC approved FSR 3:1.
- 10. Window heads have been lowered to 2.58m to fit services

# FINISHES *REFER TO EXTERNAL FINISHES

(MAS1)	MASONRY - VERTICAL STACK BOND FACE BRICK WORK	
(MAS2)	MASONRY - STRECHER BOND FACE BRICK WORK	
REN1 CL1 CL2 GB	CLADDING 5 CLADDING 5 CLADDING GLASS BALUSTRADE	

# LEGEND

SD	SLIDING PANEL
LVR	GLAZED LOUVRE WINDOW
sw	SWING DOOR
FX	FIXED GLAZING
PS	PRIVACY SCREEN
ов	OBSCURE GLAZING
AW	AWNING WINDOW
DH	DOUBLE HUNG WINDOW
AS	FIRE ATTENUATION SCREEN



# APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

DRAWING TITLE			PROJECT
SECTION	1 B		VPM
SCALE	STATUS	NUMBER	REVISION
1:200	S4.55 (8)	A3.01	А



	7	BOUNDARY
₩ ROOF FFL 26.900		
▼LEVEL 6	UNIT 13 BED 1	BED 2
FFL 23.650	UNIT 12 BED 1	BED 2
▼ FFL 20.550	TERRACE UNIT 11 UNIT 11 KITCHEN	BED 1
<b>V</b> <u>LEVEL 4</u>	RL 17.38	
VLEVEL 3	UNIT 7 BED 1 LIVING LIVING	BED 1
✓ <u>LEVEL 2</u>	UNIT 4 BED 1 LIVING LIVING	BED 1
EXISTING LEVEL 1      FFL 8.950      LEVEL 1	UNIT 1 UNIT 3 LIVING LIVING	BED 1
FFL 8.150 VEXISTING GROUND FLOOR FFL 5.550 VGROUND FLOOR	COMMERCIAL 1 COMMERCIAL 1 COMMERCIAL 1	AL 2
FFL 4.750	BASEMENT CAR PARKING LEVEL 1	
FFL 1.600      BASEMENT 1.5      FFL 0.260      BASEMENT 2      FFL -1.080	BASEMENT CAR PARKING LEVEL 2	
BASEMENT 2.5      FFL -2.440		



# platform ARCHITECTS 2/40 East Esplanade Manly, NSW 2095 Australia Phone: 02 8385 9759

Nominated Architect: Bridie Gough 8580

VPM

9-11 VICTORIA PARADE, MANLY, NSW

- All dimensions to be checked on site before commencement of work. - All discrepancies to be brought to the attention of the Architect. - Larger scale drawings and written dimensions take precedence. - The Estuarine Planning Level is min 3.1m AHD. All levels to AHD. This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of Platform Architects Ply Ltd.

REVISION	DATE	DESCRIPTION
A	20/12/23	S4.55 (8) MODIFICATION

ISSUED FOR s4.55(8) LODGMENT

REVISION NOTES

| BY

MD,FB

NOT FOR CONSTRUCTION

C.G. & I.B. KOUTSOS

CLIENT

# PROPOSED S4.55(8) MODIFICATIONS LIST:

- Retail 1 on Ground floor has been pushed out to 1 enhance the usable area and to suit new columns for balconies above
- The front facade's angle has been adjusted to enlarge the front balconies and comply with ADG regulations of 2. balcony size.
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- Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the intention of condition 43D. 6.
- Private roof terrace introduced to improve amenity of unit 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or 7. overshadowing.
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(MAS1)	MASONRY - VERTICAL STACK BOND FACE BRICK WORK
(MAS2)	MASONRY - STRECHER BOND FACE BRICK WORK

(REN1) RENDER - LIGHT

CL1 CLADDING 5 GB GLASS BALUSTRADE

# LEGEND

SD SLIDING PANEL	ING PANEL
------------------	-----------

- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- **OB** OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN



APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

$\searrow$	DRAWING TITL	E		PROJECT
/	SECTION	NA		VPM
$\sim$	SCALE	STATUS	NUMBER	REVISION
	1:200	S4.55 (8)	A3.02	А







platform

IMPORTANT NOTES: Do not scale from drawings, use figured dimensions only. Ensure that the drawings used carry the latest revision no. Read in conjunction with consultant engineers drawings - refer contract drawing list.

- All dimensions to be checked on site before commencement of work. - All discrepancies to be brought to the attention of the Architect. - Larger scale drawings and written dimensions take precedence. - The Estuarine Planning Level is mln 3.1m AHD. All levels to AHD.

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DATE DESCRIPTION 20/12/23 S4.55 (8) MODIFICATION

BY

MD,FB

REVISION DATE |

REVISION NOTES ISSUED FOR s4.55(8) LODGMENT

NOT FOR CONSTRUCTION

C.G. & I.B. KOUTSOS

CLIENT

2/40 East Esplanade Manly, NSW 2095 Australia Phone: 02 8385 9759 Nominated Architect: Bridie Gough 8580 info@platformarchitects.com.au VPM

9-11 VICTORIA PARADE, MANLY, NSW

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(MAS1)	MASONRY - VERTICAL STACK BOND FACE BRICK WORK
(MAS2)	MASONRY - STRECHER BOND FACE BRICK WORK
CL1	CLADDING 5

GB GLASS BALUSTRADE

# LEGEND

SD	SLIDING PANEL
LVR	GLAZED LOUVRE WINDOW
sw	SWING DOOR
FX	FIXED GLAZING

- PS PRIVACY SCREEN
- **OB** OBSCURE GLAZING
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APPROVED DA OUTLINE IN S34 CONFERENCE DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552

S4.55(8) MODIFICATIONS

APPROVED DRAWINGS

$\sim$	DRAWING T
	SECTIO
	SCALE
	1:200

DRAWING TITLE			PROJEC1	
SECTION	SECTION C			
SCALE	STATUS	NUMBER	REVISION	
1:200	S4.55 (8)	A3.03	А	