

REVISION NOTES

ISSUED FOR s4.55(8)  
LODGMENT

**NOT FOR CONSTRUCTION**

**platform**  
ARCHITECTS

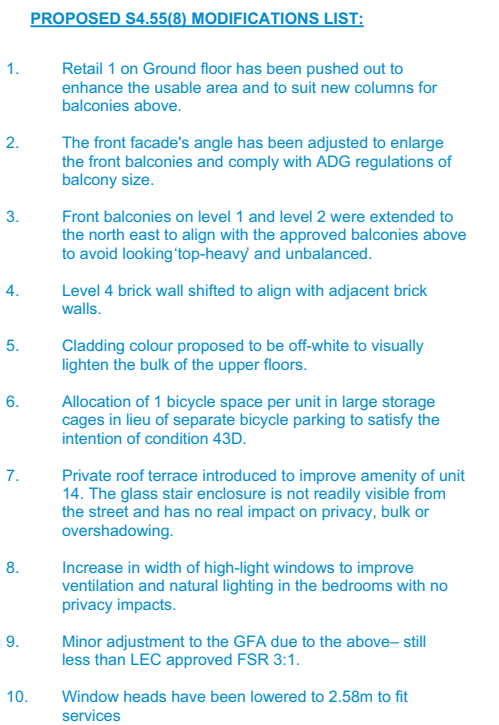
2/40 East Esplanade  
Manly, NSW 2095 Australia  
Phone: 02 8385 9759

Nominated Architect: Bridie Gough 8580  
info@platformarchitects.com.au

<b>NatHERS Thermal Performance Specifications (BASIX Thermal Comfort)</b> <b>9-11 Victoria Parade, Manly</b>					
<i>These are the specifications upon which the NatHERS assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project.</i>					
Windows	Glass *	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	6.7	0.57	For window types: awning, bi-fold, casement – Glazing generally
Default	Single glazed, clear	Aluminium	6.7	0.70	For window types: sliding window/ door, double hung, fixed – Glazing generally
Default	Single glazed, Low E (low solar gain)	Aluminium	5.6	0.41	For unit 13 – glazed walls for roof top stair enclosure
<i>* The glass type and frame descriptions are indicative only. The U-value and SHGC performance figures must be met to achieve compliance</i>					
Skylights	Glass	Frame	U value	SHGC	Detail
Default	Single glazed, clear	Aluminium	7.3	0.79	For unit 13 – skylights over bathrooms
Default	Double glazed, clear	Aluminium	4.2	0.72	For unit 13 – glazed roof for roof top stair enclosure
External walls	Construction	Added Insulation		Detail	
Brick veneer		R 2.0		As per drawings	
Hebel + stud		R 2.0		As per drawings	
Framed		R 2.0		As per drawings	
Concrete 180mm		R 1.0		As per drawings	
Cavity brick		None		Existing walls forming part of unit 1	
Internal walls	Construction	Added Insulation		Detail	
Plasterboard on studs		None		Walls within units	
Hebel + Stud		None		Walls between units, and walls separating units from common lobbies	
Concrete		None		Walls separating units from lift shafts and stairwells	
Floors	Construction	Added Insulation		Detail	
Concrete		None		Floors generally	
Concrete		R 1.0		For unit: 1	
Ceilings	Construction	Added Insulation		Detail	
Plasterboard		See roof details			
Plasterboard		R 3.5		For unit: 1 (ceiling below existing roof space)	
Roof	Construction	Added Insulation		Detail	
Concrete		R 1.0		For units: 2, 3, 7, 9, 10, 11	
Concrete		R 2.5		For unit: 13	
Tiles		R 1.0		For existing roof over unit 1	
Other Requirements					
All vents, exhaust fans and downlights (if installed) to be sealed to prevent air-infiltration					



DRAWING TITLE			PROJECT
COVER PAGE			VPM
SCALE	STATUS	NUMBER	REVISION
	s4.55 (8)	A0.00	A



MAS1 MASONRY - VERTICAL STACK BOND FACE BRICK WORK

MAS2 MASONRY - STRECHER BOND FACE BRICK WORK

REN1 RENDER - LIGHT

CL1 CLADDING

CL2 CLADDING

GB GLASS BALUSTRADE

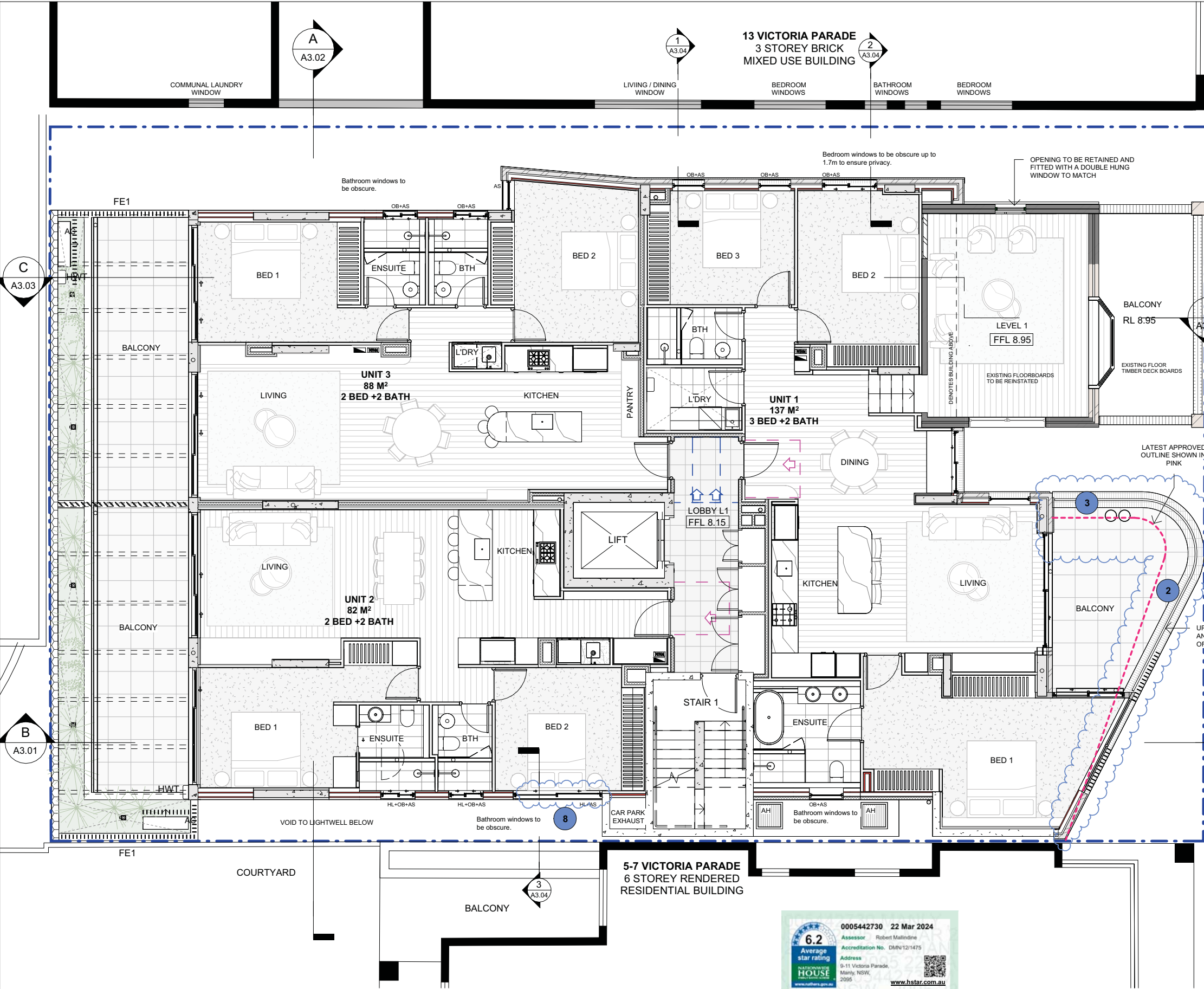
**SD** SLIDING PANEL  
**LVR** GLAZED LOUVRE WINDOW  
**SW** SWING DOOR  
**FX** FIXED GLAZING  
**PS** PRIVACY SCREEN  
**OB** OBSCURE GLAZING  
**AW** AWNING WINDOW  
**DH** DOUBLE HUNG WINDOW  
**AS** FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34  
CONFERENCE

DENOTES EXTENT OF BUILDING  
AS PER MOD2022/0660 PAN-284552  
APPROVED DRAWINGS

S4.55(8) MODIFICATIONS

## VISION



PROPOSED S4.55(8) MODIFICATIONS LIST:

- Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above.
- The front facade's angle has been adjusted to enlarge the front balconies and comply with ADG regulations of balcony size.
- Front balconies on level 1 and level 2 were extended to the north east to align with the approved balconies above to avoid looking 'top-heavy' and unbalanced.
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- Cladding colour proposed to be off-white to visually lighten the bulk of the upper floors.
- Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the intention of condition 43D.
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- Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no privacy impacts.
- Minor adjustment to the GFA due to the above- still less than LEC approved FSR 3:1.
- Window heads have been lowered to 2.58m to fit services

FINISHES REFER TO EXTERNAL FINISHES

- (MAS1) MASONRY - VERTICAL STACK BOND FACE BRICK WORK  
(MAS2) MASONRY - STRECHER BOND FACE BRICK WORK  
(REN1) RENDER - LIGHT  
(CL1) CLADDING  
(CL2) CLADDING  
(GB) GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL  
LVR GLAZED LOUVE WINDOW  
SW SWING DOOR  
FX FIXED GLAZING  
PS PRIVACY SCREEN  
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- APPROVED DA OUTLINE IN S34 CONFERENCE  
DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS  
S4.55(8) MODIFICATIONS

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All dimensions to be checked on site before commencement of work.  
All discrepancies to be brought to the attention of the Architect.  
Larger scale drawings and written dimensions take precedence.  
The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.  
This drawing is copyright and the property of the author, and must not be retained, copied or used without the express authority of Platform Architects Pty Ltd.

REVISION	DATE	DESCRIPTION	BY
A	20/12/23	S4.55 (8) MODIFICATION	MD,FB

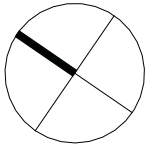
ISSUED FOR s4.55(8) LODGMNT  
NOT FOR CONSTRUCTION

CLIENT  
C.G. & I.B. KOUTSOS



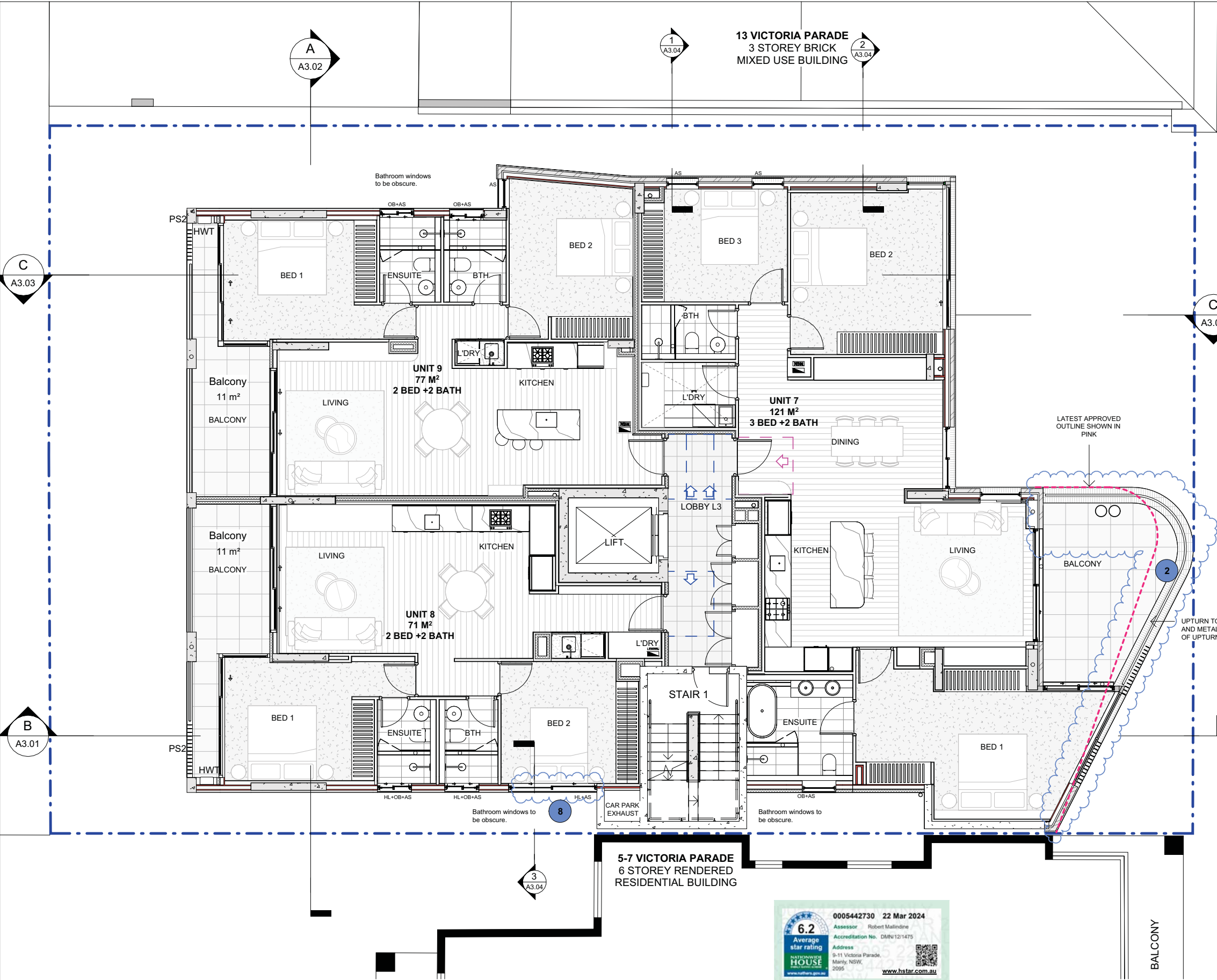
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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE	STATUS	NUMBER	REVISION
FIRST FLOOR PLAN	s4.55 (8)	A1.03	A





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- MAS2 MASONRY - STRECHER BOND FACE BRICK WORK
- REN1 RENDER - LIGHT
- CL1 CLADDING
- CL2 CLADDING
- GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN

- APPROVED DA OUTLINE IN S34 CONFERENCE
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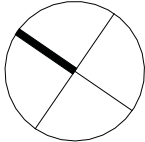
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CLIENT  
C.G. & I.B. KOUTSOS



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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE	STATUS	NUMBER	REVISION
THIRD FLOOR PLAN	s4.55 (8)	A1.05	A

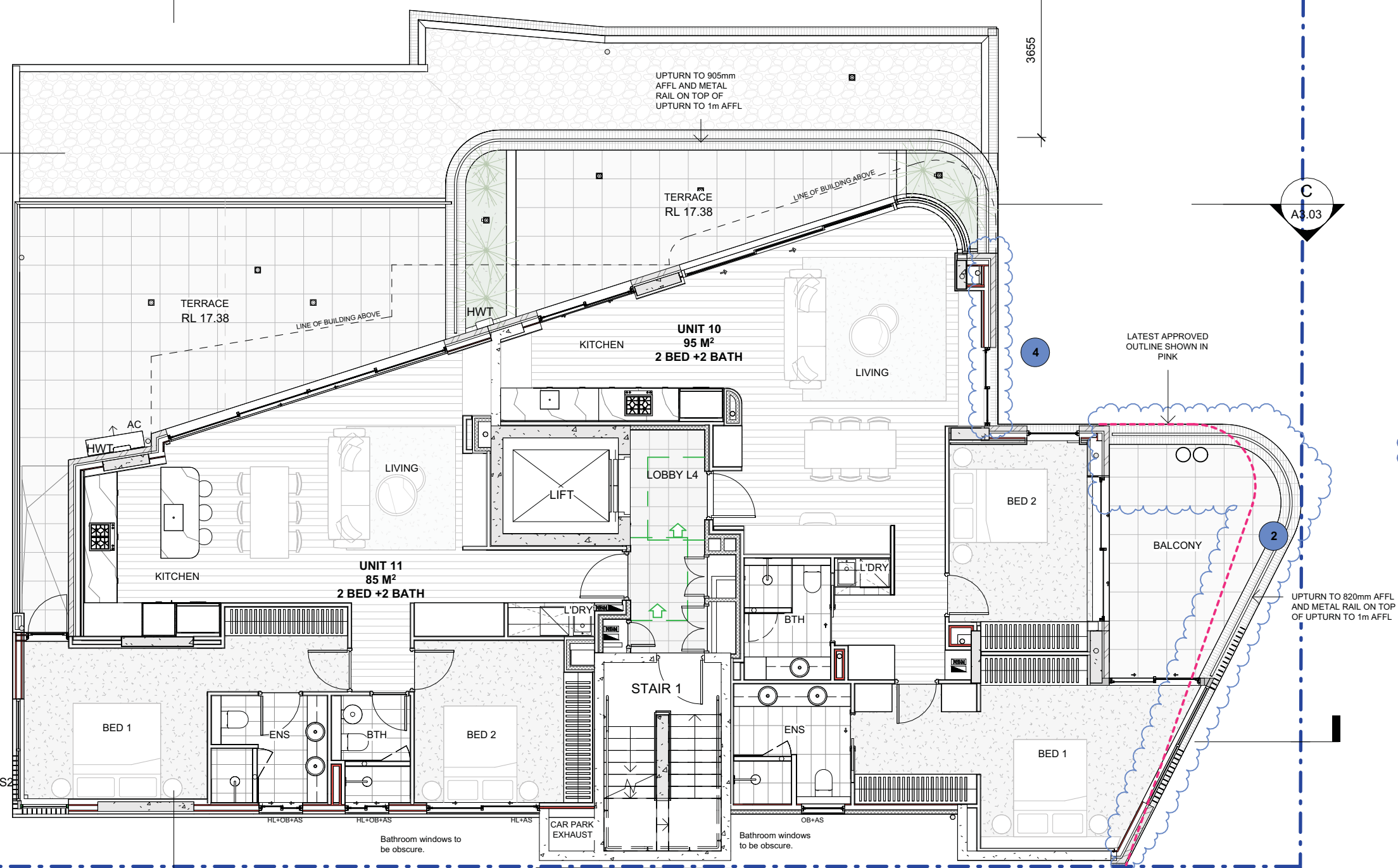
A  
A3.02

13 VICTORIA PARADE  
3 STOREY BRICK  
MIXED USE BUILDING

C  
A3.03

C  
A3.03

B  
A3.01



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- MAS2 MASONRY - STRECHER BOND FACE BRICK WORK
- REN1 RENDER - LIGHT
- CL1 CLADDING
- CL2 CLADDING
- GB GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN

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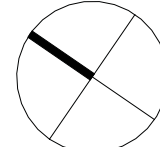
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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE			PROJECT
FOURTH FLOOR PLAN			VPM
SCALE	STATUS	NUMBER	REVISION
1 : 100	s4.55 (8)	A1.06	A



A circular logo with a black border. Inside the circle, the letter 'C' is at the top and 'A3.03' is at the bottom. The logo is set against a black background.

A diagram showing a circle with center **B** and radius **A3.01**. The circle is tangent to a horizontal line and a vertical dashed line.

 **0005442730** **22 Mar 2024**  
**Assessor** Robert Mallindine  
**Accreditation No.** DMNI/12/1475  
**Address**  
9-11 Victoria Parade,  
Manly, NSW,  
2095  
  
[www.hstar.com.au](http://www.hstar.com.au)

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13 VICTORIA PARADE  
3 STOREY BRICK  
MIXED USE BUILDING

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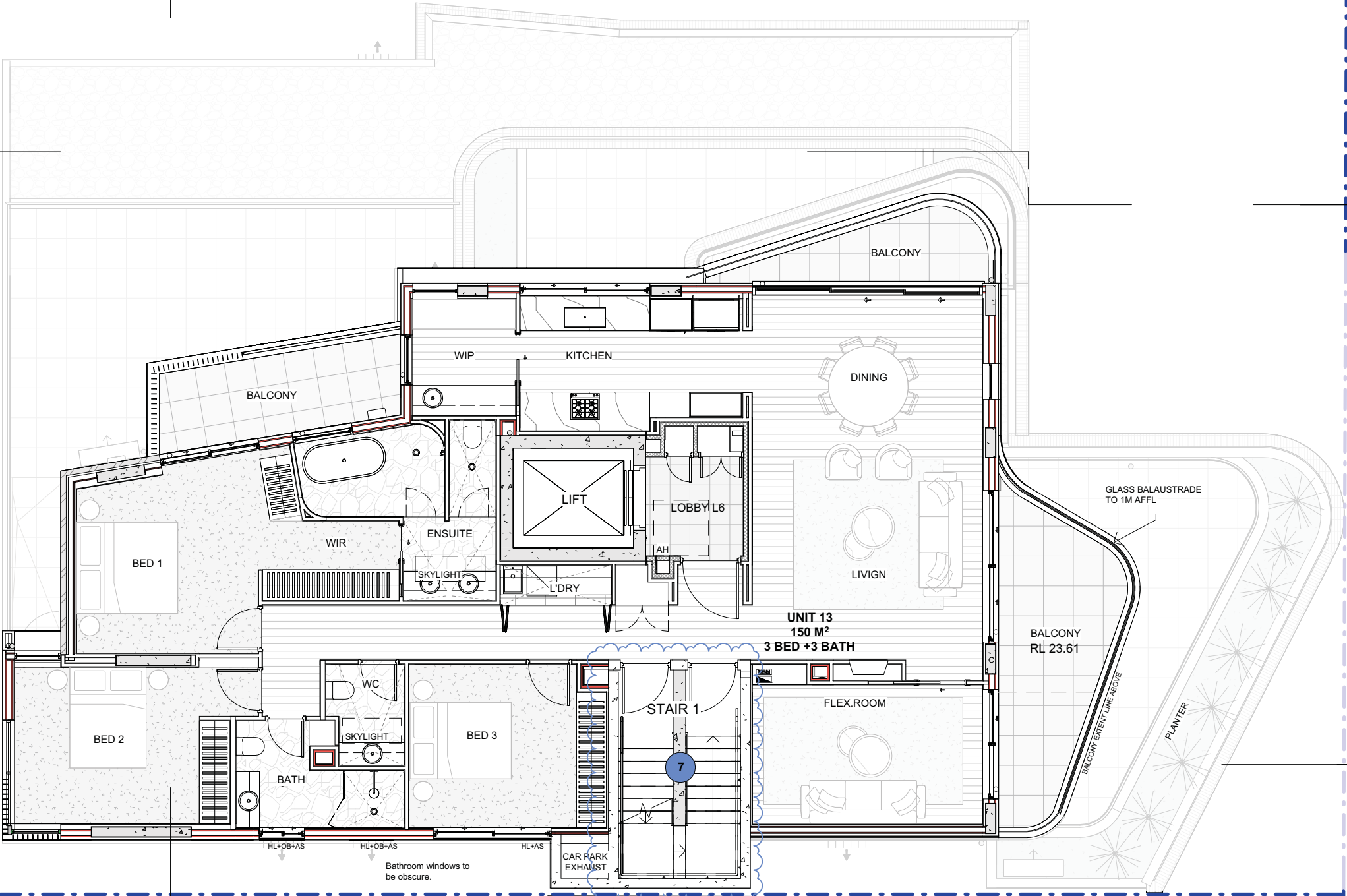
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(REN1) RENDER - LIGHT  
(CL1) CLADDING 5  
(CL2) CLADDING  
(GB) GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL  
LVR GLAZED LOUVRE WINDOW  
SW SWING DOOR  
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OB OBSCURE GLAZING  
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AS FIRE ATTENUATION SCREEN

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S4.55(8) MODIFICATIONS



5-7 VICTORIA PARADE  
6 STOREY RENDERED  
RESIDENTIAL BUILDING



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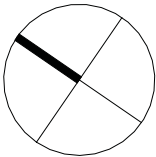
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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE		PROJECT	
SIXTH FLOOR PLAN		VPM	
SCALE	STATUS	NUMBER	REVISION
1 : 100	s4.55 (8)	A1.08	A

13 VICTORIA PARADE  
3 STOREY BRICK  
MIXED USE BUILDING

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(CL1) CLADDING 5  
(CL2) CLADDING  
(GB) GLASS BALUSTRADE

LEGEND

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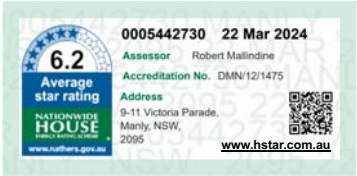
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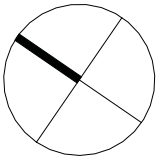
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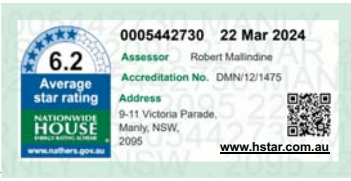
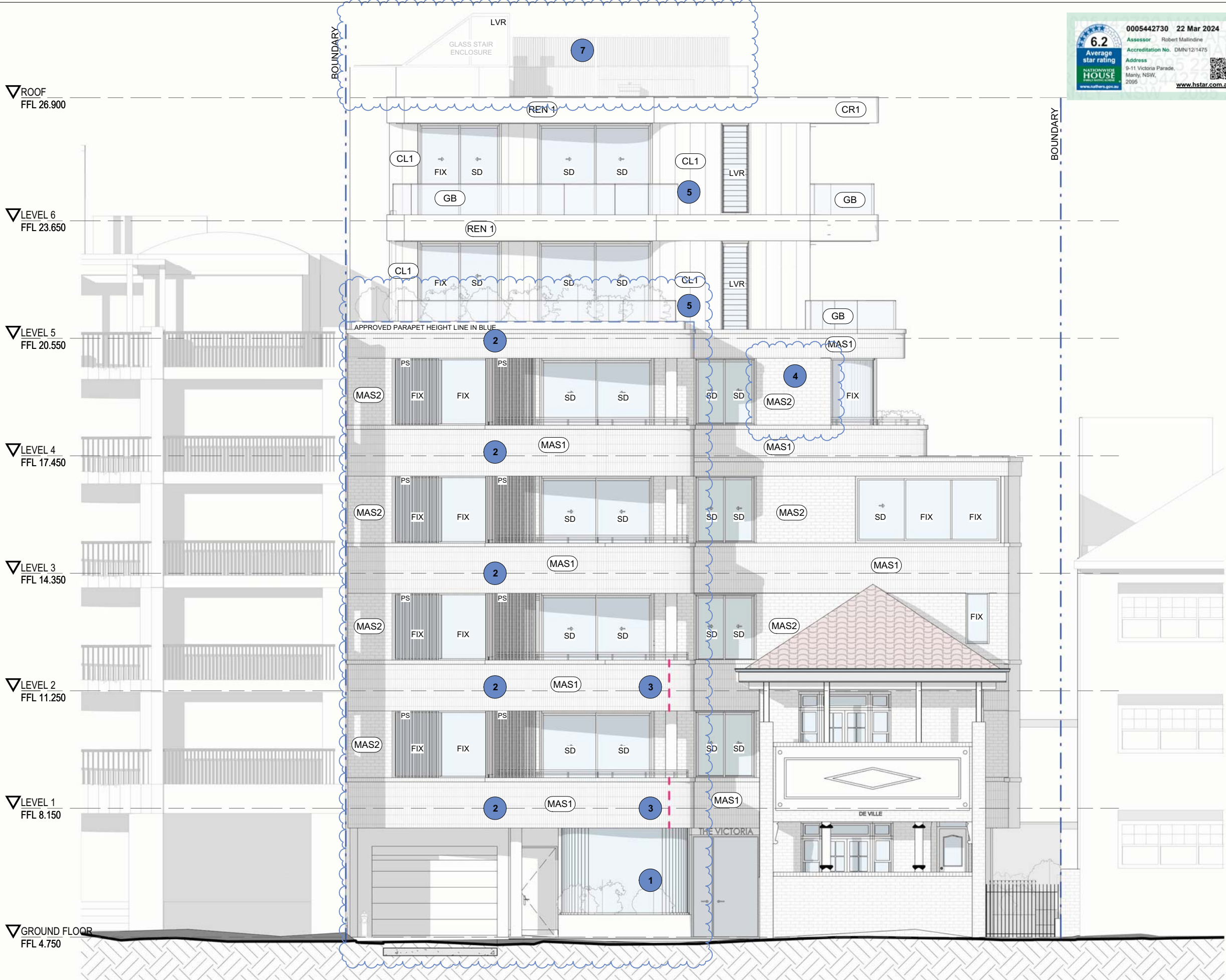


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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE		PROJECT	
ROOF PLAN TERRACE		VPM	
SCALE	STATUS	NUMBER	REVISION
1 : 100	s4.55 (8)	A1.09	A



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- LEGEND**
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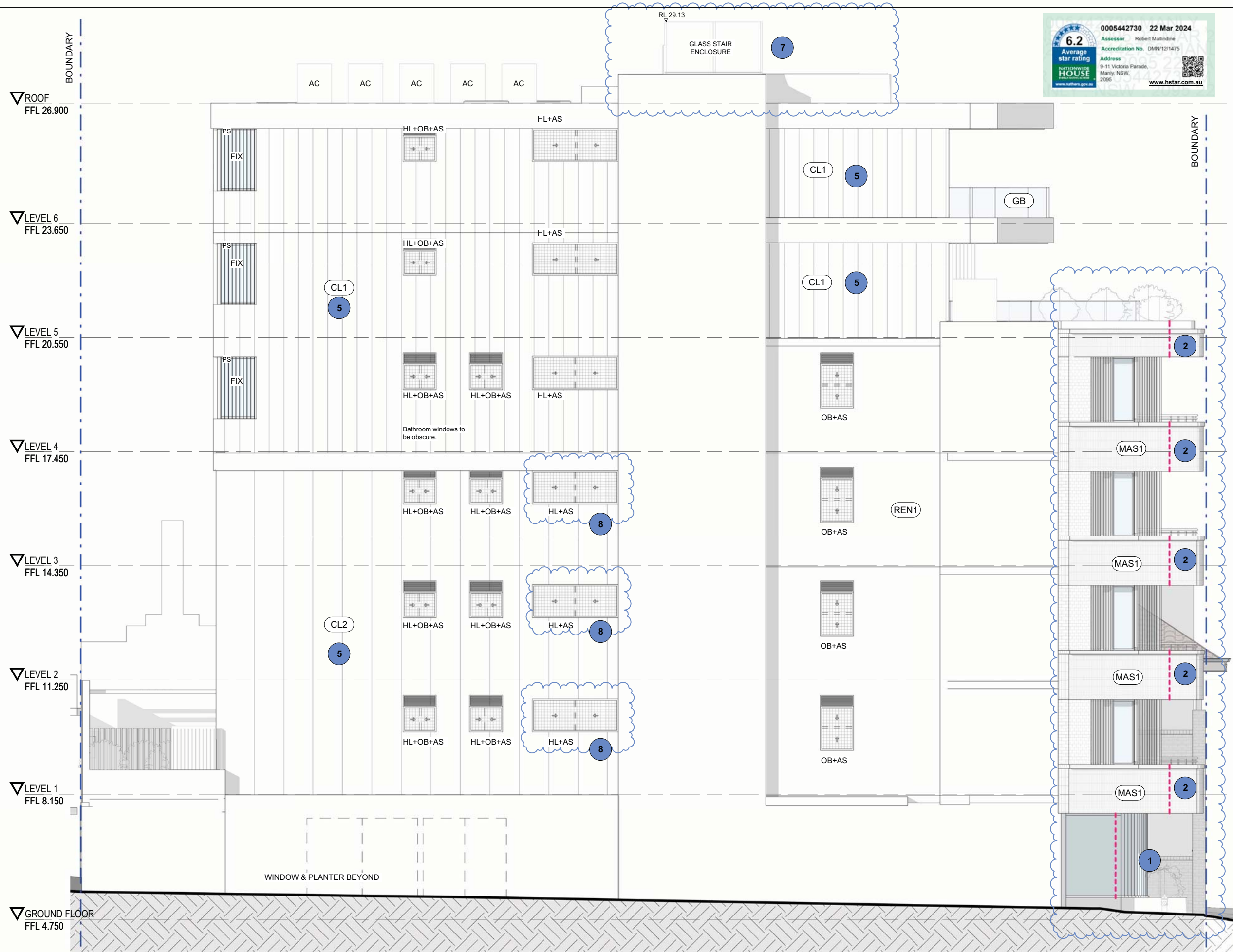
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**platform** ARCHITECTS  
2/40 East Esplanade  
Manly, NSW 2095 Australia  
Phone: 02 8385 9759  
Nominated Architect: Bridie Gough 8580  
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**VPM**  
9-11 VICTORIA PARADE, MANLY, NSW

DRAWING TITLE		PROJECT	
SOUTHEAST ELEVATION		VPM	
SCALE	STATUS	NUMBER	REVISION
1 : 100	s4.55 (8)	A2.01	A



PROPOSED S4.55(8) MODIFICATIONS LIST:

- Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above.
- The front facade's angle has been adjusted to enlarge the front balconies and comply with ADG regulations of balcony size.
- Front balconies on level 1 and level 2 were extended to the north east to align with the approved balconies above to avoid looking 'top-heavy' and unbalanced.
- Level 4 brick wall shifted to align with adjacent brick walls.
- Cladding colour proposed to be off-white to visually lighten the bulk of the upper floors.
- Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the intention of condition 43D.
- Private roof terrace introduced to improve amenity of unit 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or overshadowing.
- Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no privacy impacts.
- Minor adjustment to the GFA due to the above– still less than LEC approved FSR 3:1.
- Window heads have been lowered to 2.58m to fit services

FINISHES \*REFER TO EXTERNAL FINISHES

- (MAS1) MASONRY - VERTICAL STACK BOND FACE BRICK WORK  
(MAS2) MASONRY - STRECHER BOND FACE BRICK WORK  
(REN1) RENDER - LIGHT  
(CL1) CLADDING 5  
(CL2) CLADDING  
(GB) GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL  
LVR GLAZED LOUVRE WINDOW  
SW SWING DOOR  
FX FIXED GLAZING  
PS PRIVACY SCREEN  
OB OBSCURE GLAZING  
AW AWNING WINDOW  
DH DOUBLE HUNG WINDOW  
AS FIRE ATTENUATION SCREEN

- APPROVED DA OUTLINE IN S34 CONFERENCE  
DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS  
S4.55(8) MODIFICATIONS

IMPORTANT NOTES:  
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All dimensions to be checked on site before commencement of work.  
All discrepancies to be brought to the attention of the Architect.  
Larger scale drawings and written dimensions take precedence.  
The Estuarine Planning Level is min 3.1m AHD. All levels to AHD.  
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REVISION	DATE	DESCRIPTION	BY
A	20/12/23	S4.55 (8) MODIFICATION	MD,FB

REVISION NOTES  
ISSUED FOR s4.55(8)  
LODGMNT  
NOT FOR CONSTRUCTION

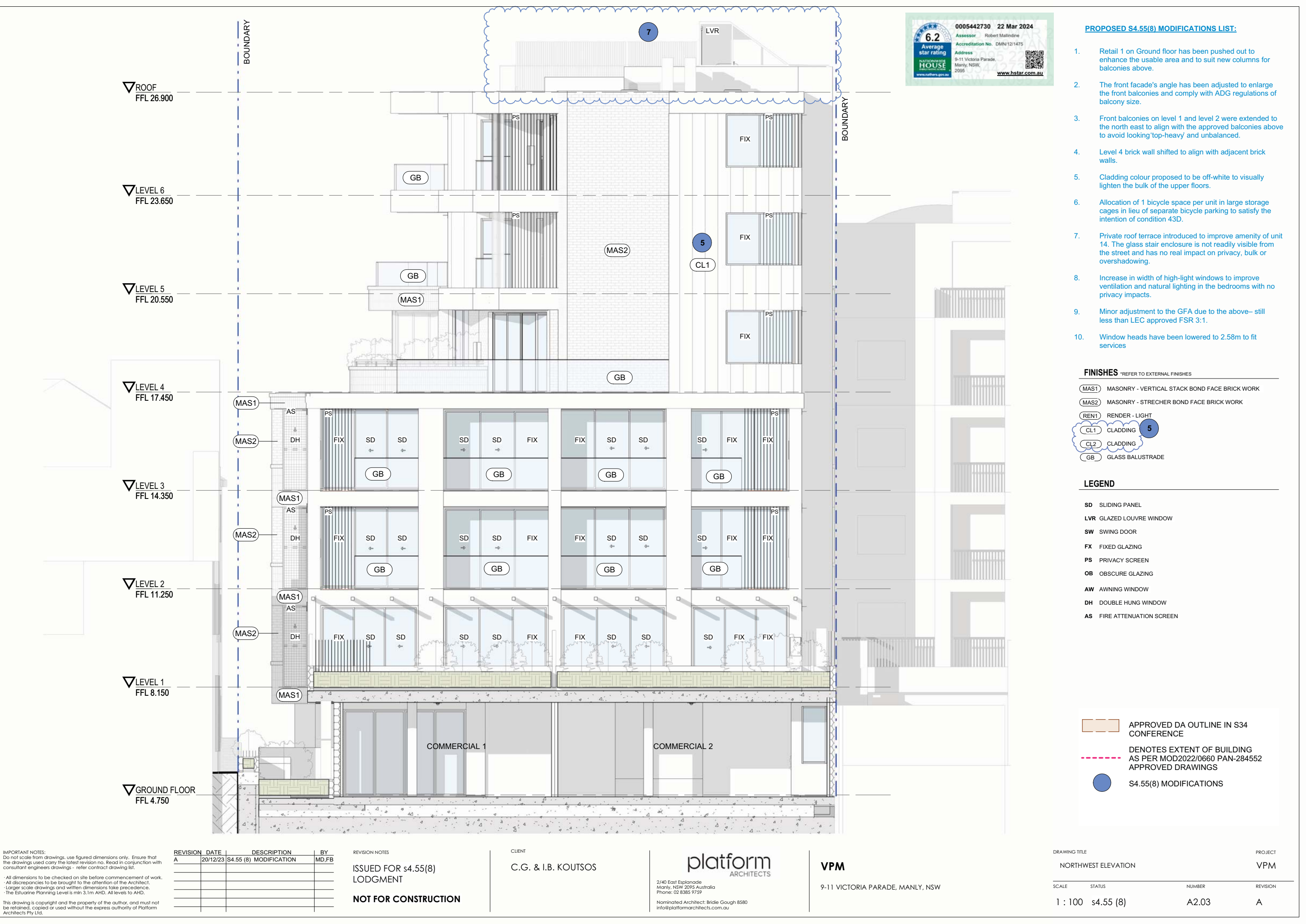
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VPM  
9-11 VICTORIA PARADE, MANLY, NSW

DRAWING TITLE  
SOUTHWEST ELEVATION  
SCALE STATUS NUMBER REVISION  
1 : 100 s4.55 (8) A2.02 A

PROJECT  
VPM





PROPOSED S4.55(8) MODIFICATIONS LIST:

- Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above.
- The front facade's angle has been adjusted to enlarge the front balconies and comply with ADG regulations of balcony size.
- Front balconies on level 1 and level 2 were extended to the north east to align with the approved balconies above to avoid looking 'top-heavy' and unbalanced.
- Level 4 brick wall shifted to align with adjacent brick walls.
- Cladding colour proposed to be off-white to visually lighten the bulk of the upper floors.
- Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the intention of condition 43D.
- Private roof terrace introduced to improve amenity of unit 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or overshadowing.
- Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no privacy impacts.
- Minor adjustment to the GFA due to the above– still less than LEC approved FSR 3:1.
- Window heads have been lowered to 2.58m to fit services

FINISHES \*REFER TO EXTERNAL FINISHES

- (MAS1) MASONRY - VERTICAL STACK BOND FACE BRICK WORK
- (MAS2) MASONRY - STRECHER BOND FACE BRICK WORK
- (REN1) RENDER - LIGHT
- (CL1) CLADDING
- (CL2) CLADDING
- (GB) GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL
- LVR GLAZED LOUVRE WINDOW
- SW SWING DOOR
- FX FIXED GLAZING
- PS PRIVACY SCREEN
- OB OBSCURE GLAZING
- AW AWNING WINDOW
- DH DOUBLE HUNG WINDOW
- AS FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34 CONFERENCE

DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

S4.55(8) MODIFICATIONS

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REVISION	DATE	DESCRIPTION	BY
A	20/12/23	S4.55 (8) MODIFICATION	MD,FB

REVISION NOTES

ISSUED FOR s4.55(8)  
LODGMNT

NOT FOR CONSTRUCTION

CLIENT

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VPM

9-11 VICTORIA PARADE, MANLY, NSW

DRAWING TITLE

NORTHEAST ELEVATION

SCALE

STATUS

NUMBER

PROJECT

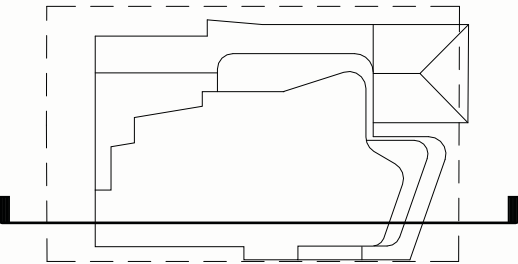
VPM

REVISION

1 : 100 s4.55 (8)

A2.04

A



1. Retail 1 on Ground floor has been pushed out to enhance the usable area and to suit new columns for balconies above.
2. The front facade's angle has been adjusted to enlarge the front balconies and comply with ADG regulations of balcony size.
3. Front balconies on level 1 and level 2 were extended to the north east to align with the approved balconies above to avoid looking 'top-heavy' and unbalanced.
4. Level 4 brick wall shifted to align with adjacent brick walls.
5. Cladding colour proposed to be off-white to visually lighten the bulk of the upper floors.
6. Allocation of 1 bicycle space per unit in large storage cages in lieu of separate bicycle parking to satisfy the intention of condition 43D.
7. Private roof terrace introduced to improve amenity of unit 14. The glass stair enclosure is not readily visible from the street and has no real impact on privacy, bulk or overshadowing.
8. Increase in width of high-light windows to improve ventilation and natural lighting in the bedrooms with no privacy impacts.
9. Minor adjustment to the GFA due to the above– still less than LEC approved FSR 3:1.
10. Window heads have been lowered to 2.58m to fit services

(MAS1) MASONRY - VERTICAL STACK BOND FACE BRICK WORK

(MAS2) MASONRY - STRECHER BOND FACE BRICK WORK

(REN1) RENDER - LIGHT

(CL1) CLADDING

(CL2) CLADDING

(GB) GLASS BALUSTRADE

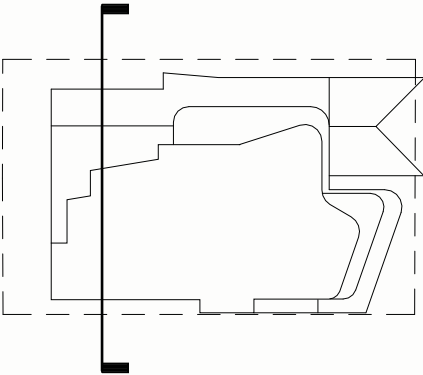
- SD** SLIDING PANEL
- LVR** GLAZED LOUVRE WINDOW
- SW** SWING DOOR
- FX** FIXED GLAZING
- PS** PRIVACY SCREEN
- OB** OBSCURE GLAZING
- AW** AWNING WINDOW
- DH** DOUBLE HUNG WINDOW
- AS** FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34  
CONFERENCE

DENOTES EXTENT OF BUILDING  
AS PER MOD2022/0660 PAN-284552  
APPROVED DRAWINGS

S4.55(8) MODIFICATIONS

Δ



PROPOSED S4.55(8) MODIFICATIONS LIST:

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FINISHES \*REFER TO EXTERNAL FINISHES

- MA1

MASONRY - VERTICAL STACK BOND FACE BRICK WORK
- MA2

MASONRY - STRECHER BOND FACE BRICK WORK
- REN1

RENDER - LIGHT
- CL1

CLADDING
- CL2

CLADDING
- GB

GLASS BALUSTRADE

5

LEGEND

- SD

SLIDING PANEL
- LVR

GLAZED LOUVRE WINDOW
- SW

SWING DOOR
- FX

FIXED GLAZING
- PS

PRIVACY SCREEN
- OB

OBSCUR E GLAZING
- AW

AWNING WINDOW
- DH

DOUBLE HUNG WINDOW
- AS

FIRE ATTENUATION SCREEN

APPROVED DA OUTLINE IN S34 CONFERENCE

DENOTES EXTENT OF BUILDING AS PER MOD2022/0660 PAN-284552 APPROVED DRAWINGS

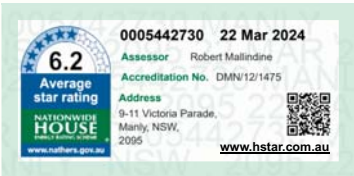
S4.55(8) MODIFICATIONS

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A	20/12/23	S4.55 (8) MODIFICATION	MD,FB

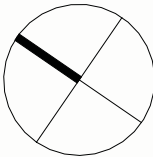
REVISION NOTES  
ISSUED FOR s4.55(8) LODGMNT  
NOT FOR CONSTRUCTION

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VPM  
9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE			PROJECT
SECTION A			VPM
SCALE	STATUS	NUMBER	REVISION
1:200	S4.55 (8)	A3.02	A

PROPOSED S4.55(8) MODIFICATIONS LIST:

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(MAS2) MASONRY - STRECHER BOND FACE BRICK WORK  
(REN1) RENDER - LIGHT  
(CL1) CLADDING  
(CL2) CLADDING  
(GB) GLASS BALUSTRADE

LEGEND

- SD SLIDING PANEL  
LVR GLAZED LOUVRE WINDOW  
SW SWING DOOR  
FX FIXED GLAZING  
PS PRIVACY SCREEN  
OB OBSCURE GLAZING  
AW AWNING WINDOW  
DH DOUBLE HUNG WINDOW  
AS FIRE ATTENUATION SCREEN

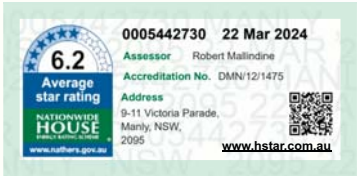
- APPROVED DA OUTLINE IN S34 CONFERENCE  
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A	20/12/23	S4.55 (8) MODIFICATION	MD,FB

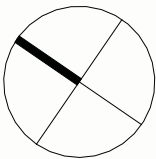
ISSUED FOR s4.55(8) LODGMNT  
NOT FOR CONSTRUCTION

CLIENT  
C.G. & I.B. KOUTSOS



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9-11 VICTORIA PARADE, MANLY, NSW



DRAWING TITLE		PROJECT	
SECTION C		VPM	
SCALE	STATUS	NUMBER	REVISION
1:200	S4.55 (8)	A3.03	A